

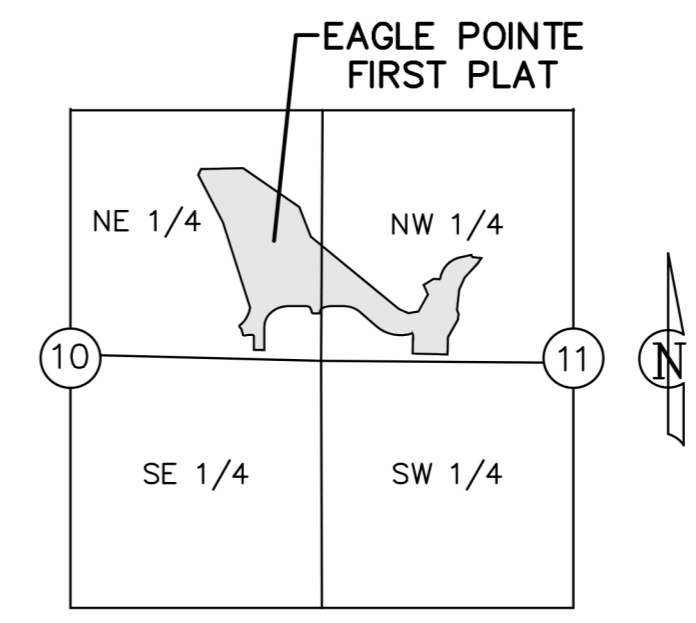
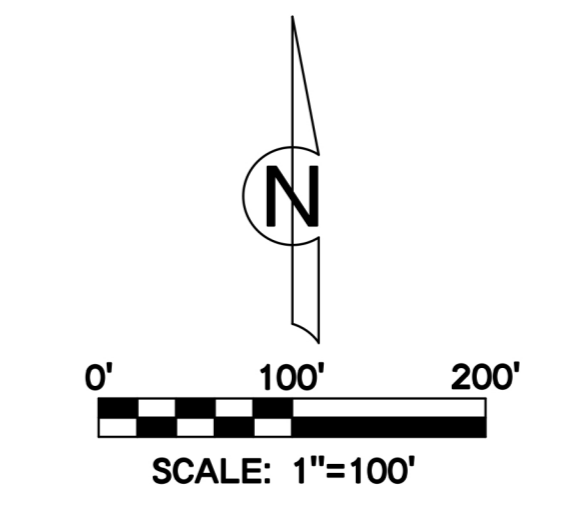
**FINAL PLAT OF
EAGLE POINTE FIRST PLAT**
A subdivision of land in the
Northeast Quarter of Section 10 and
the Northwest Quarter of Section 11,
all in Township 51 North, Range 32 West,
in KANSAS CITY, CLAY COUNTY, MISSOURI

This plat and survey of EAGLE POINTE FIRST PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY that the Plat of EAGLE POINTE FIRST PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



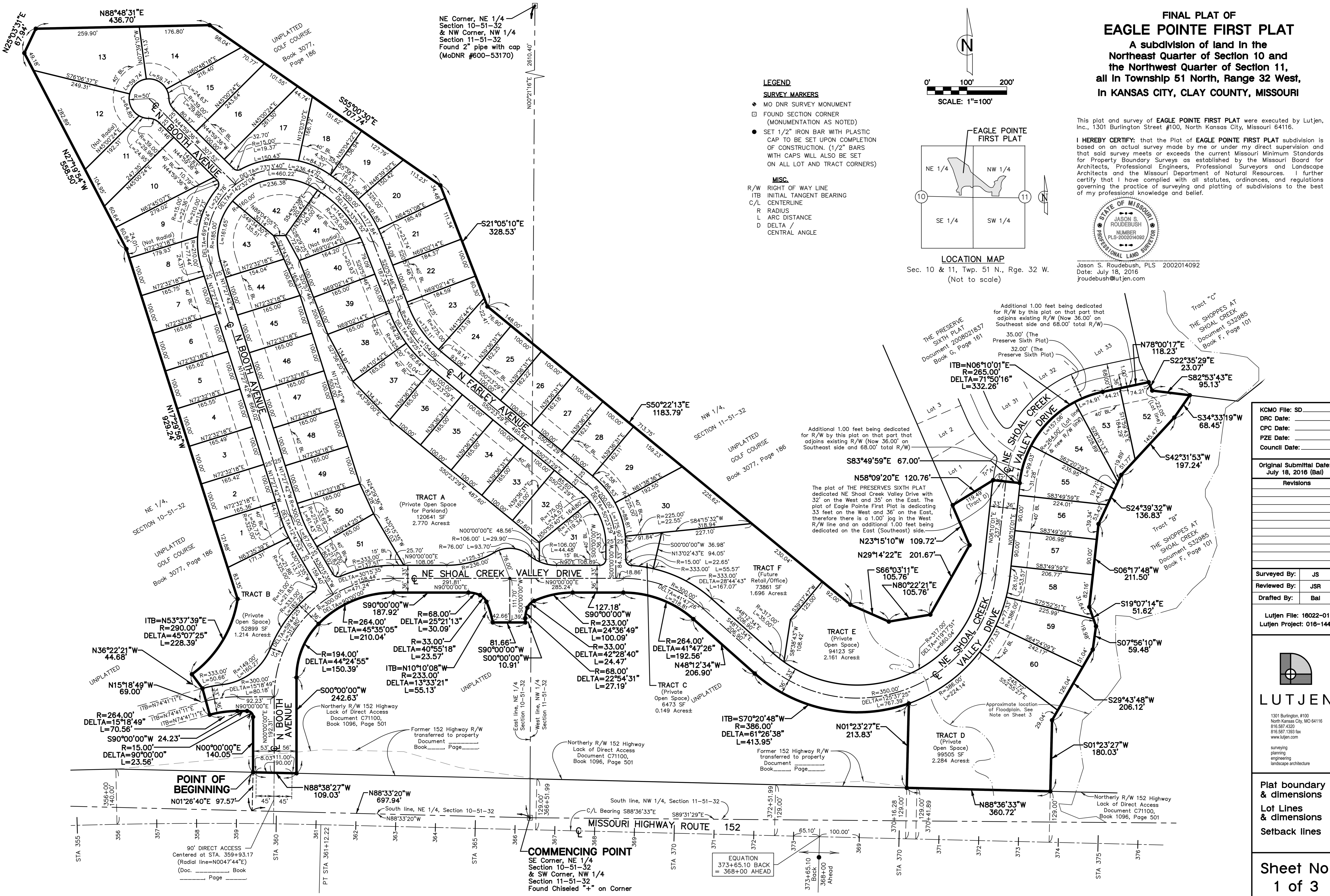
Jason S. Roudebush, PLS 2002014092
Date: July 18, 2016
jroutebush@lutjen.com



LOCATION MAP
Sec. 10 & 11, Twp. 51 N., Rge. 32 W.
(Not to scale)

- LEGEND**
- SURVEY MARKERS**
- ◆ MO DNR SURVEY MONUMENT
 - FOUND SECTION CORNER (MONUMENTATION AS NOTED)
 - SET 1/2" IRON BAR WITH PLASTIC CAP TO BE SET UPON COMPLETION OF CONSTRUCTION. (1/2" BARS WITH CAPS WILL ALSO BE SET ON ALL LOT AND TRACT CORNERS)
- MISC.**
- R/W RIGHT OF WAY LINE
 - ITB INITIAL TANGENT BEARING
 - C/L CENTERLINE
 - R RADIUS
 - L ARC DISTANCE
 - Δ DELTA / CENTRAL ANGLE

NE Corner, NE 1/4
Section 10-51-32
& NW Corner, NW 1/4
Section 11-51-32
Found 2" pipe with cap
(MoDNR #600-53170)



Additional 1.00 feet being dedicated for R/W by this plat on that part that adjoins existing R/W (Now 36.00' on Southeast side and 68.00' total R/W)

Additional 1.00 feet being dedicated for R/W by this plat on that part that adjoins existing R/W (Now 36.00' on Southeast side and 68.00' total R/W)

The plot of THE PRESERVES SIXTH PLAT dedicated NE Shoal Creek Valley Drive with 32' on the West and 35' on the East. The plat of Eagle Pointe First Plat is dedicating 33 feet on the West and 36' on the East, therefore there is a 1.00' jog in the West R/W line and an additional 1.00 feet being dedicated on the East (Southeast) side.

KCMO File: SD	
DRC Date:	
CPC Date:	
PZE Date:	
Council Date:	

Original Submittal Date:
July 18, 2016 (Bal)

Revisions	

Surveyed By: JS
Reviewed By: JSR
Drafted By: Bal

Lutjen File: 16022-01
Lutjen Project: 016-1440

1301 Burlington, #100
North Kansas City, MO 64116
816.587.4320
816.587.1393 fax
www.lutjen.com

surveying
planning
engineering
landscape architecture

Plat boundary & dimensions
Lot Lines & dimensions
Setback lines

Location: L:\Projects\16022-01\Plans\Plot\Eagle Pointe First Plat 16022 Eagle Pointe First Plat.dwg

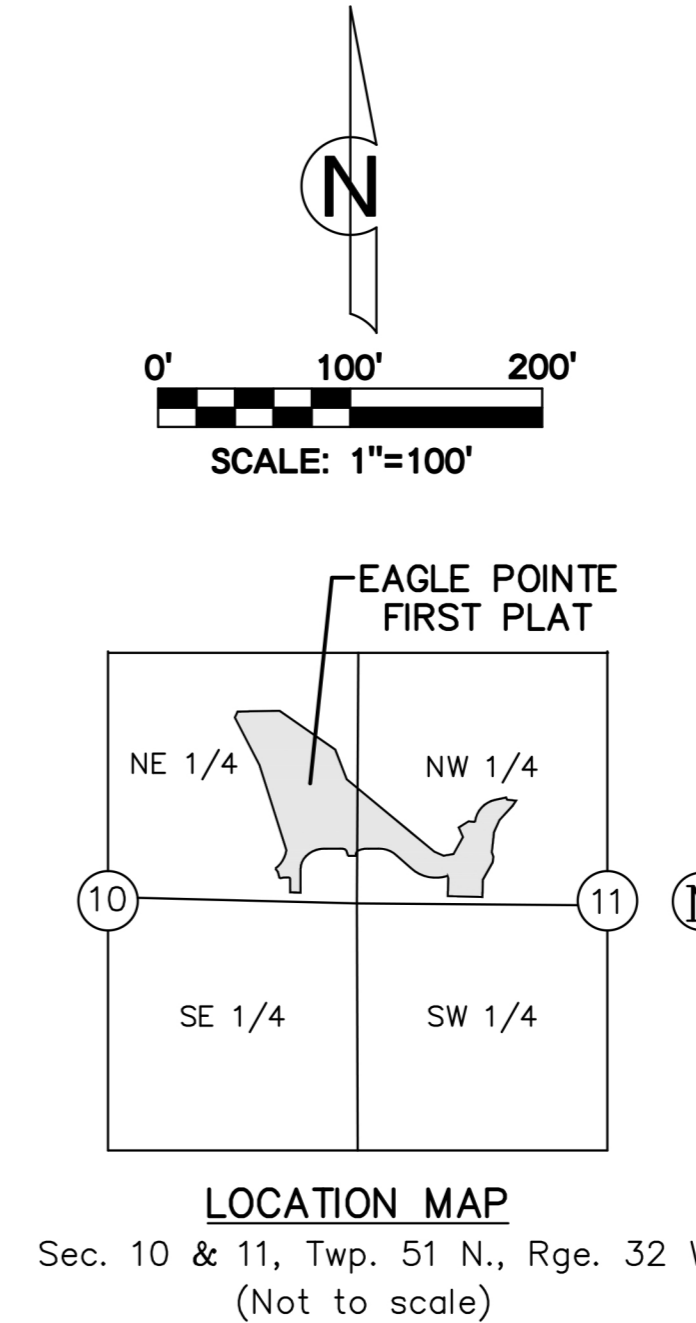
FINAL PLAT OF
EAGLE POINTE FIRST PLAT
 A subdivision of land in the
 Northeast Quarter of Section 10 and
 the Northwest Quarter of Section 11,
 all in Township 51 North, Range 32 West,
 in KANSAS CITY, CLAY COUNTY, MISSOURI

This plat and survey of EAGLE POINTE FIRST PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY: that the Plat of EAGLE POINTE FIRST PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



Jason S. Roudebush, PLS 2002014092
 Date: July 18, 2016
 jroudebush@lutjen.com



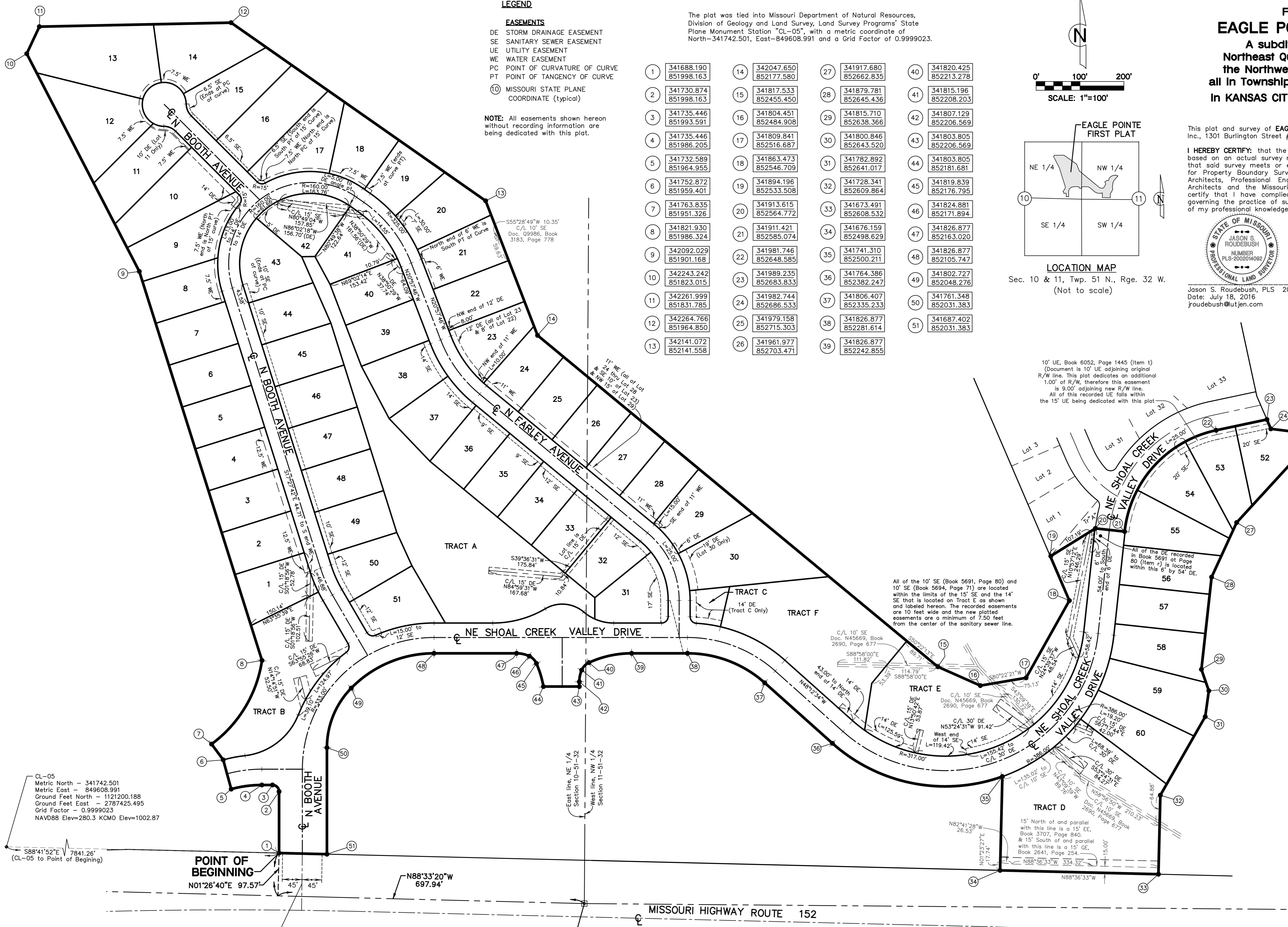
The plat was tied into Missouri Department of Natural Resources, Division of Geology and Land Survey, Land Survey Programs' State Plane Monument Station "CL-05", with a metric coordinate of North-341742.501, East-849608.991 and a Grid Factor of 0.9999023.

LEGEND

- EASEMENTS**
 DE STORM DRAINAGE EASEMENT
 SE SANITARY SEWER EASEMENT
 UE UTILITY EASEMENT
 WE WATER EASEMENT
 PC POINT OF CURVATURE OF CURVE
 PT POINT OF TANGENCY OF CURVE
 (10) MISSOURI STATE PLANE COORDINATE (typical)

NOTE: All easements shown hereon without recording information are being dedicated with this plat.

1	341688.190	14	342047.650	27	341917.680	40	341820.425
2	341730.874	15	341817.533	28	341879.781	41	341815.196
3	341735.446	16	341804.451	29	341815.710	42	341807.129
4	341735.446	17	341809.841	30	341800.846	43	341803.805
5	341732.589	18	341863.473	31	341782.892	44	341803.805
6	341752.872	19	341894.196	32	341728.341	45	341819.839
7	341763.835	20	341913.615	33	341673.491	46	341824.881
8	341821.930	21	341911.421	34	341676.159	47	341826.877
9	342092.029	22	341981.746	35	341741.310	48	341826.877
10	342243.242	23	341989.235	36	341764.386	49	341802.727
11	342261.999	24	341982.744	37	341806.407	50	341761.348
12	342264.766	25	341979.158	38	341826.877	51	341687.402
13	342141.072	26	341961.977	39	341826.877		
	851998.163		852177.580		852662.835		852213.278
	851998.163		852455.450		852645.436		852208.203
	851993.591		852484.908		852638.366		852206.569
	851986.205		852516.687		852643.520		852206.569
	851964.955		852561.017		852609.864		852176.795
	851951.326		852564.772		852608.532		852171.894
	851951.326		852585.074		852498.629		852163.020
	851821.930		852683.833		852500.211		852105.747
	851986.324		852686.533		852382.247		852031.383
	851901.168		852686.533		852335.233		
	851821.930		852683.833		852335.233		
	851831.785		852686.533		852335.233		
	851964.850		852715.303		852281.614		
	852141.558		852703.471		852242.855		



KCMO File: SD _____
 DRC Date: _____
 CPC Date: _____
 PZE Date: _____
 Council Date: _____

Original Submittal Date:
 July 18, 2016 (Bal)

Revisions	

Surveyed By: JS
 Reviewed By: JSR
 Drafted By: Bal

Lutjen File: 16022-01
 Lutjen Project: 016-1440

LUTJEN

1301 Burlington, #100
 North Kansas City, MO 64116
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 816.587.1393 fax
 www.lutjen.com

surveying
 planning
 engineering
 landscape architecture

Platted Easements & dimensions
 Recorded Easements & dimensions
 State Plane Coordinates

Location: L:\Projects\16022-01\Plans\Plat\Eagle Point First Plat 16022-01\Plat.dwg

PLAT DESCRIPTION:

A tract of land in the Northeast Quarter of Section 10 and the Northwest Quarter of Section 11, all in Township 51 North, Range 32 West of the 5th Principal Meridian, in Kansas City, Clay County, Missouri, being bounded and described as follows: Commencing at the Southeast corner of the Northeast Quarter of said Section 10, said point also being the Southwest corner of the Northwest Quarter of said Section 11; thence North 88°33'20" West, along the South line of the Northeast Quarter of said Section 10, 697.94 feet; thence North 01°26'40" East, 97.57 feet to the Point of Beginning of the tract of land to be herein described; said point also being on the Northerly right of way line of Missouri State Highway No. 152 as now established: thence North 00°00'00" East, 140.05 feet; thence Northwesteally along a curve to the left being tangent to the last described course with a radius of 15.00 feet, a central angle of 90°00'00" and an arc distance of 23.56 feet; thence South 90°00'00" West, 24.23 feet; thence Westerly along a curve to the left being tangent to the last described course with a radius of 264.00 feet, a central angle of 15°18'49" and an arc distance of 70.56 feet; thence North 15°18'49" West, 69.00 feet; thence North 36°22'21" West, 44.68 feet; thence Northeasterly along a curve to the left having an initial tangent bearing of North 53°37'39" East with a radius of 290.00 feet, a central angle of 45°07'25" and an arc distance of 228.39 feet; thence North 17°29'56" West, 929.24 feet; thence North 27°19'54" West, 558.50 feet; thence North 25°03'31" East, 67.94 feet; thence North 88°48'31" East, 436.70 feet; thence South 55°00'30" East, 707.74 feet; thence South 21°05'10" East, 328.53 feet; thence South 50°22'13" East, 1183.79 feet; thence South 66°03'11" East, 105.76 feet; thence North 80°22'21" East, 105.76 feet; thence North 29°14'22" East, 201.67 feet; thence North 23°15'10" West, 109.72 feet to the most Westerly corner of Tract "A", (also being the most Southerly corner of Lot 1), THE PRESERVE SIXTH PLAT, a subdivision of land in said Kansas City as recorded in Document 2008021837, in Book G at Page 161; thence North 58°09'20" East, along the South line of said Tract "A", 120.76 feet to the Southeast corner of said Tract "A" and an angle point on the Southerly line of said plat; thence South 83°49'59" East, along said Southerly plat line 67.00 feet to a point on the Southeasterly right of NE Shoal Creek Valley Drive as established by said plat; thence Northeasterly along said Southeasterly right of way line along a curve to the right having an initial tangent bearing of North 06°10'01" East with a radius of 265.00 feet, a central angle of 71°50'16" and an arc distance of 332.26 feet; thence North 78°00'17" East, along said Southeast right of way line, 118.23 feet to a point on the Westerly line of Tract "C", THE SHOPPES AT SHOAL CREEK, a subdivision of land in said Kansas City as recorded in Document No. S32985, in Book F, at Page 101; thence South 22°35'29" East, along said Westerly tract line, 23.07 feet to the Southwest corner of said Tract "C"; thence South 82°53'43" East, along the Southerly line of said Tract "C", 95.13 feet to the Northwest corner of Tract "B", said THE SHOPPES AT SHOAL CREEK; thence Southerly along said Westerly tract line the following eight (8) courses: thence South 34°33'19" West, 68.45 feet; thence South 42°31'53" West, 197.24 feet; thence South 24°39'32" West, 136.83 feet; thence South 06°17'48" West, 211.50 feet; thence South 19°07'14" East, 51.62 feet; thence South 07°56'10" West, 59.48 feet; thence South 29°43'48" West, 206.12 feet; thence South 01°23'27" West, 180.03 feet to a point on the Northerly right of way line of aforesaid Missouri State Highway No. 152 as now established; thence departing the aforesaid Westerly tract line, North 88°36'33" West, along said Northerly right of way line, 360.72 feet; thence North 01°23'27" East, 213.83 feet; thence Westerly along a curve to the right having an initial tangent bearing of South 70°20'48" West with a radius of 386.00 feet, a central angle of 61°26'38" and an arc distance of 413.95 feet; thence North 48°12'34" West, 206.90 feet; thence Westerly along a curve to the left being tangent to the last described course with a radius of 264.00 feet, a central angle of 41°47'26" and an arc distance of 192.56 feet; thence South 90°00'00" West, 127.18 feet; thence Westerly along a curve to the left being tangent to the last described course with a radius of 233.00 feet, a central angle of 24°36'49" and an arc distance of 100.09 feet; thence Southwesteally along a curve to the left having a common tangent with the last described course with a radius of 33.00 feet, a central angle of 42°28'40" and an arc distance of 24.47 feet; thence Southerly along a curve to the left having a common tangent with the last described course with a radius of 68.00 feet, a central angle of 22°54'31" and an arc distance of 27.19 feet; thence South 00°00'00" West, 10.91 feet; thence South 90°00'00" West, 81.66 feet; thence Northerly along a curve to the left having an initial tangent bearing of North 10°10'08" West with a radius of 233.00 feet, a central angle of 13°33'21" and an arc distance of 55.13 feet; thence Northwesteally along a curve to the left having a common tangent with the last described course with a radius of 33.00 feet, a central angle of 40°55'18" and an arc distance of 23.57 feet; thence Westerly along a curve to the left having a common tangent with the last described course with a radius of 68.00 feet, a central angle of 25°21'13" and an arc distance of 30.09 feet; thence South 90°00'00" West, 187.92 feet; thence Southwesteally along a curve to the left being tangent to the last described course with a radius of 264.00 feet, a central angle of 45°35'05" and an arc distance of 210.04 feet; thence Southerly along a curve to the left having a common tangent with the last described course with a radius of 194.00 feet, a central angle of 44°24'55" and an arc distance of 150.39 feet; thence South 00°00'00" West, 242.63 feet to a point on the aforesaid Northerly right of way line of said Missouri State Highway No. 152 as now established; thence North 88°38'27" West, along said Northerly right of way line, 109.03 feet to the Point of Beginning. Containing 1,980,026 square feet or 45.455 acres, more or less.

PLAT DEDICATION:

The undersigned owners of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

EAGLE POINTE FIRST PLAT

STREET DEDICATION: Streets shown hereon and not heretofore dedicated for public use as street right-of-way are hereby dedicated.

RIGHT OF ENTRANCE: The right of ingress and egress and travel along any street or drive within the boundaries of the property is hereby granted to Kansas City, Missouri for the purpose of fire and police protection, maintenance of water mains, sanitary and storm sewer lines, collection of garbage and refuse and to the United States Postal Services for the delivery of mail; provided, however, such right of ingress and egress does not include any obligation to contribute for any damage to any private street or drive by virtue of the exercise of the rights stated herein and specifically, neither Kansas City, Missouri, nor the United States Postal Service shall incur any liability by virtue of the exercise of such rights.

UNDESIRABLE NOISE LEVELS: The area described herein lies adjacent to Missouri State Highway Route 152, therefore development may be subject to undesirable noise levels due to traffic generation, appropriate measures should be taken through acoustical site planning and/or acoustical construction to reduce the impact of undesirable noise levels.

FLOODPLAIN: This property falls within the limits of "Flood Insurance Rate Map" Community Panel No. 2901730050B, (50 of 145) map revised August 5, 1986, as published by the Federal Emergency Management Agency. This panel is out of date in this area due to the grading changes and roadway improvements along NE Flintock Road and Missouri State Highway Route 152. The information shown hereon in regards to the floodplain has been established from a study by GBA Architects-Engineers and is currently under review and subject to change by the City of Kansas City, Missouri.

ACCESS: The is a lack of direct vehicular access to and from Missouri State Highway Route 152 to and from EAGLE POINT FIRST PLAT, according to the document recorded a Document No. C71100, in Book 1096, at Page 501 and Document No. _____ in Book _____ at Page _____ except for a 90 feet wide strip of land centered at Missouri State Highway Route 152 Station 359+93.17 as established by Document No. _____ in Book _____ at Page _____, as shown and noted hereon.

COVENANTS, CONDITIONS AND RESTRICTIONS: This property is subject to the terms and conditions contained in the document entitled "Declaration of Covenants, Restrictions and Easements - Eagle Pointe First Plat" to be recorded simultaneously with this plat.

PARKLAND DEDICATION: Tract "A", (120641 S.F. or 2.770 Acres±) is hereby dedicated as a Private Open Space Tract for parkland dedication in lieu of required parkland dedication for 60 single-family residential units, pursuant to Section 66-128 of General Ordinances, as amended.

PRIVATE OPEN SPACE: Tract "B" (52,899 S.F. or 1.214 Acres±), Tract "C" (6,473 S.F. or 0.149 Acres±), Tract "D" (99,505 or 2.284 Acres±) and Tract "E" (94,123 S.F. or 2.161 Acres±) are hereby dedicated as Private Open Space Tracts and shall be maintained pursuant to the document entitled "Declaration of Covenants, Restrictions and Easements - Eagle Pointe First Plat" to be recorded simultaneously with this plat.

FUTURE RETAIL / OFFICE: Tract "F" (73,861 S.F. or 1.696 Acres±) is hereby dedicated as future retail / office and shall be maintained pursuant to the document entitled "Declaration of Covenants, Restrictions and Easements - Eagle Pointe First Plat" to be recorded simultaneously with this plat.

SURVEYOR'S NOTES:

- 1. Property information referencing this plat of EAGLE POINT FIRST PLAT has been taken from the commitment for Title Insurance issued by Old Republic National Title Insurance Company File No. SKC0035627, dated June 30, 2016 at 8:00 a.m.
2. All easements from the referenced Title Commitments that cross the property have been shown and labeled herein.
3. Bearings used hereon are based on the Missouri State Plane Coordinate system, NAD 1983, West Zone.

PLAT DEDICATION:

The undersigned owners of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

EAGLE POINTE FIRST PLAT

UTILITY EASEMENT DEDICATION: A utility easement is hereby granted to the City of Kansas City, Missouri, for the purpose of locating, constructing, operating, and maintaining facilities for water, gas, electricity, sewage, telephone, cable tv and surface drainage, and grading, including, but not limited to, underground pipes and conduits, pad mounted transformers, services pedestals, any or all of them upon, over, under and along the strips of land designated utility easements (UE), provided that the easement granted herein is subject to any and all existing easements. Any utilities located within the designated utility easements, by virtue of their existence, do hereby covenant, consent, and agree that they shall be subordinate to said public right of way in the event that additional public right of way is dedicated over the location of the utility easement. Where other easements are designated for a particular purpose, the use thereof shall be limited to that purpose only. All of the above easements shall be kept free from any and all obstructions which would interfere with the construction or reconstruction and proper, safe and continuous maintenance of the aforesaid uses and specifically there shall not be built thereon or thereover any structure (except driveways, paved areas, grass, shrubs and fences) nor shall there be any obstruction to interfere with the agents and employees of the City of Kansas City, Missouri, and its franchised utilities from going upon said easement and as much of the adjoining lands as may be reasonably necessary in exercising the rights granted by the easement. No excavation or fill shall be made or operation of any kind or nature shall be performed which will reduce or increase the earth coverage over the utilities above stated or the appurtenances thereto without a valid permit from the City of Kansas City as to utility easements.

DRAINAGE EASEMENT: A drainage easement (DE) for the purpose of storm water drainage including the right to build, construct, keep, repair and maintain storm water drainage facilities under, in, over, and upon as may be necessary, being and situated in Kansas City, Missouri ("The City") is hereby granted to The City. The City shall have the right at all times to go upon the lands herein described to construct, maintain and repair the said drainage facilities as may be necessary. Nothing shall in any way interfere with the safe and unrestricted use of the land adjacent to and above said drainage facilities, nor attempt to use said property in such manner as would interfere with the proper, safe and continuous maintenance and use of said drainage facilities and specifically shall not build thereon or thereover any structure which may interfere with the maintenance and use thereof.

SANITARY SEWER EASEMENT: A sanitary sewer easement (SE) for the location, construction, reconstruction, maintenance, operation and repair of sewerage improvements and any and all appurtenances incidental thereto in, under, upon, over and through land lying, being and situated in Kansas City, Missouri ("The City") is hereby granted to The City. By the granting of this easement, it shall not be construed to prohibit development of any adjoining property or from the laying out, establishing and constructing pavement, surfacing of roadways, curbing and gutters along, upon, over or across said easement or any portion thereof; provided, however, said easement shall be kept free from additional depth of overburden, buildings, and any other structure or obstruction (except sidewalks, roadways, pavement, grass, shrubs, fences, or curbs), which will interfere with the City in entering upon said adjacent land and easement for the purpose of laying, constructing, reconstructing, operating, repairing and maintaining such sewerage improvements and appurtenances.

WATER MAIN EASEMENT: A water main easement (WE) for the operation and movement of equipment, and the movement of a working force, in connection with the location, construction, reconstruction, maintenance, operation and repair of water mains and any appurtenances thereto over, under and through land lying, being, and situated in Kansas City, Missouri ("The City") is hereby granted to The City. The City, its agents, employees or independent contractors shall have the right to go upon the above described tracts of land, for the purpose of constructing, maintaining, and repairing the water main improvements and appurtenances thereto, and shall upon completion of such construction, maintenance or repair, cause the land to be restored to substantially the same condition that existed prior to the City's entry upon it. The tract of land over which a water main easement is being granted shall be kept free from buildings or any other structures or obstructions (except non-ornamental grass, non-ornamental shrubs, sidewalks, roadways, pavement or curbs) that would interfere with the City in excavating upon said easement for the purposes of laying, constructing, operating, maintaining or repairing water mains and all appurtenances incidental thereto. No change in the earth cover over the water line will be made without the written approval of the Director of Water Services. This easement shall not be construed to prohibit development of any adjoining property or from the laying out, establishing and constructing of pavement, surfacing of roadways, curbing and gutters along, upon, over or across said easement or any portion thereof.

STREET GRADES

NE SHOAL CREEK VALLEY DRIVE

Table with columns: GRADE POINT, ELEV., DESC., V.C. and rows for stationing from Sta. X+00 NE Shoal Creek Valley Drive = C/L to Sta.

N BOOTH AVENUE

Table with columns: GRADE POINT, ELEV., DESC., V.C. and rows for stationing from Sta. X+00 NE Shoal Creek Valley Drive = C/L to Sta.

FINAL PLAT OF EAGLE POINTE FIRST PLAT A subdivision of land in the Northeast Quarter of Section 10 and the Northwest Quarter of Section 11, all in Township 51 North, Range 32 West, in KANSAS CITY, CLAY COUNTY, MISSOURI

This plat and survey of EAGLE POINTE FIRST PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY: that the Plat of EAGLE POINTE FIRST PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



Jason S. Roudebush, PLS 2002014092 Date: July 18, 2016 jroudebush@lutjen.com

IN TESTIMONY WHEREOF:

Tim Harris, President of STAR ACQUISITIONS, INC., a Missouri corporation has caused these presents to be executed this _____ day of _____, 2016.

STAR ACQUISITIONS INC. a Missouri corporation

Tim Harris, President

STATE OF _____ COUNTY OF _____ SS:

Be it remembered that on this _____ day of _____, 2016, before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Tim Harris to me personally known, who being by me duly sworn, did say that he is President of STAR ACQUISITIONS INC., a Missouri corporation and that said instrument was signed in behalf of said corporation and that Tim Harris acknowledged said instrument to be the free act and deed of said corporation.

IN WITNESS WHEREOF:

I have hereunto set my hand and affixed my Notarial Seal in the date herein last above written.

My Commission Expires: _____

Notary Public: _____

CITY PLAN COMMISSION:

Approved: _____

PUBLIC WORKS:

Sherri K. McIntyre, P.E. Director of Public Works

CITY COUNCIL:

This is to Certify that the within Plat was duly submitted to and Approved by the Council of Kansas City, Missouri, by Ordinance No. _____ duly authenticated as passed _____ 2016.

Sylvester "Sly" James, Jr. Mayor

Marilyn Sanders City Clerk

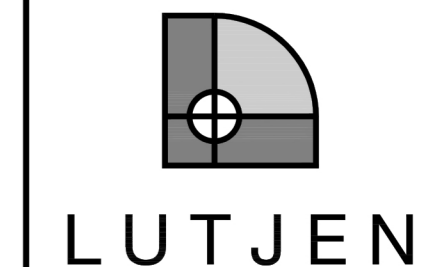
KCMO File: SD _____ DRC Date: _____ CPE Date: _____ PZE Date: _____ Council Date: _____

Original Submittal Date: July 18, 2016 (Bal)

Table with 2 columns: Revisions, and empty rows for revision tracking.

Surveyed By: JS Reviewed By: JSR Drafted By: Bal

Lutjen File: 16022-01 Lutjen Project: 016-1440



1301 Burlington, #100 North Kansas City, MO 64116 816.587.4320 816.587.1393 fax www.lutjen.com surveying planning engineering landscape architecture

Street Grades Survey Notes Plat Description Plat Dedication Plat Language Plat Execution

Sheet No. 3 of 3

Location: L:\Projects\16022-01\Plans\Plat\Eagle Pointe First Plat.dwg

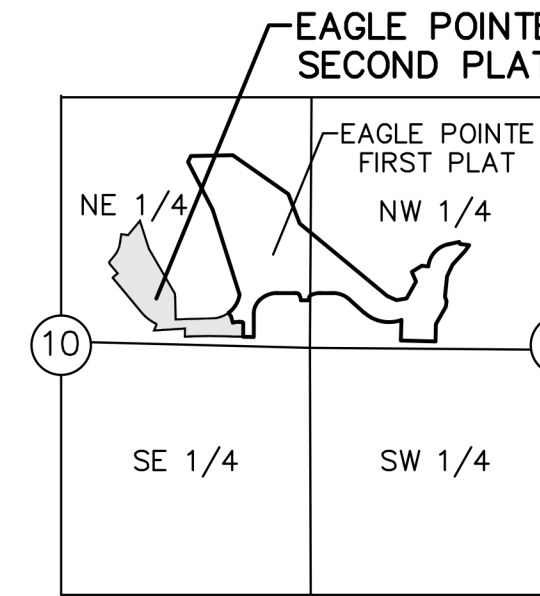
**FINAL PLAT OF
EAGLE POINTE SECOND PLAT**
A subdivision of land in the
Northeast Quarter of Section 10 and
the Northwest Quarter of Section 11,
all in Township 51 North, Range 32 West,
in KANSAS CITY, CLAY COUNTY, MISSOURI

This plat and survey of EAGLE POINTE SECOND PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

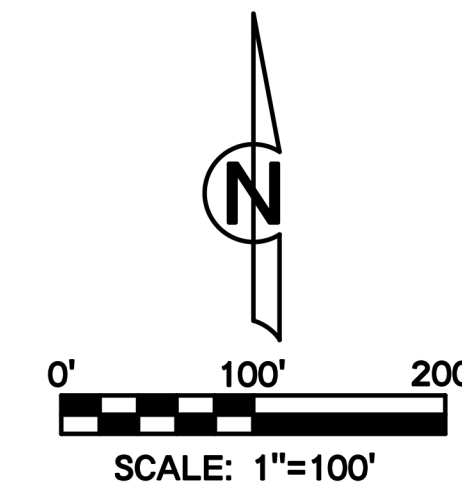
I HEREBY CERTIFY: that the Plat of EAGLE POINTE SECOND PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



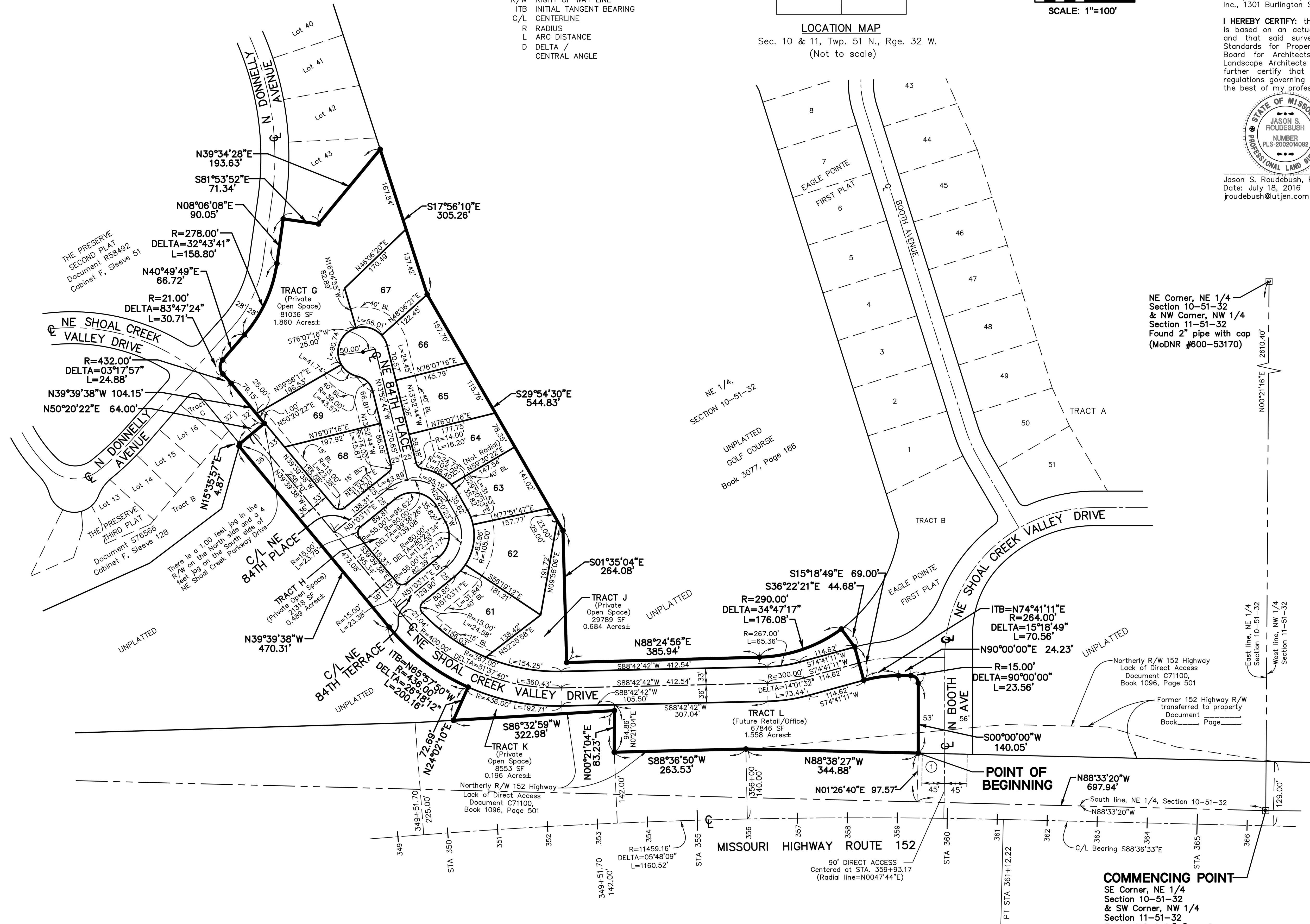
Jason S. Roudebush, PLS 2002014092
Date: July 18, 2016
jroudebush@lutjen.com



LOCATION MAP
Sec. 10 & 11, Twp. 51 N., Rge. 32 W.
(Not to scale)



- LEGEND**
- SURVEY MARKERS**
- ◆ MO DNR SURVEY MONUMENT
 - FOUND SECTION CORNER (MONUMENTATION AS NOTED)
 - SET 1/2" IRON BAR WITH PLASTIC CAP TO BE SET UPON COMPLETION OF CONSTRUCTION. (1/2" BARS WITH CAPS WILL ALSO BE SET ON ALL LOT AND TRACT CORNERS)
- MISC.**
- R/W RIGHT OF WAY LINE
 - ITB INITIAL TANGENT BEARING
 - C/L CENTERLINE
 - R RADIUS
 - L ARC DISTANCE
 - D DELTA / CENTRAL ANGLE



NE Corner, NE 1/4
Section 10-51-32
& NW Corner, NW 1/4
Section 11-51-32
Found 2" pipe with cap
(MoDNR #600-53170)

KCMO File: SD _____
DRC Date: _____
CPC Date: _____
PZE Date: _____
Council Date: _____

Original Submittal Date:
July 18, 2016 (Bal)

Revisions	

Surveyed By: JS
Reviewed By: JSR
Drafted By: Bal

Lutjen File: 16022-01
Lutjen Project: 016-1440

LUTJEN

1301 Burlington, #100
North Kansas City, MO 64116
816.587.4320
816.587.1393 fax
www.lutjen.com

surveying
planning
engineering
landscape architecture

Plat boundary & dimensions
Lot Lines & dimensions
Setback lines

Sheet No.
1 of 3

Location: L:\Projects\16022-01\Plans\Plat\Eagle Point Second Plat 16022-01\Eagle Point Second Plat.dwg

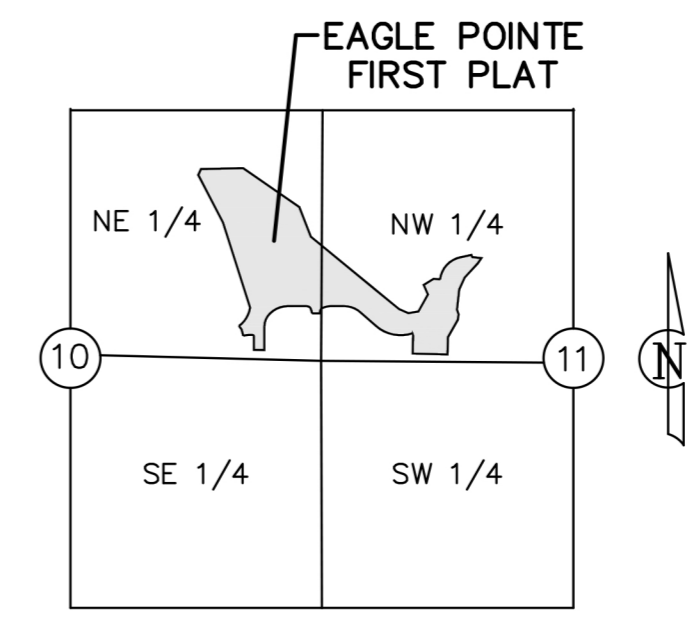
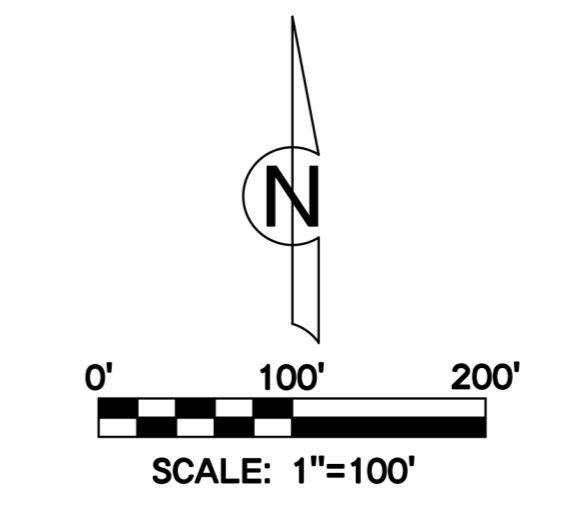
**FINAL PLAT OF
EAGLE POINTE FIRST PLAT**
A subdivision of land in the
Northeast Quarter of Section 10 and
the Northwest Quarter of Section 11,
all in Township 51 North, Range 32 West,
in KANSAS CITY, CLAY COUNTY, MISSOURI

This plat and survey of EAGLE POINTE FIRST PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY that the Plat of EAGLE POINTE FIRST PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.

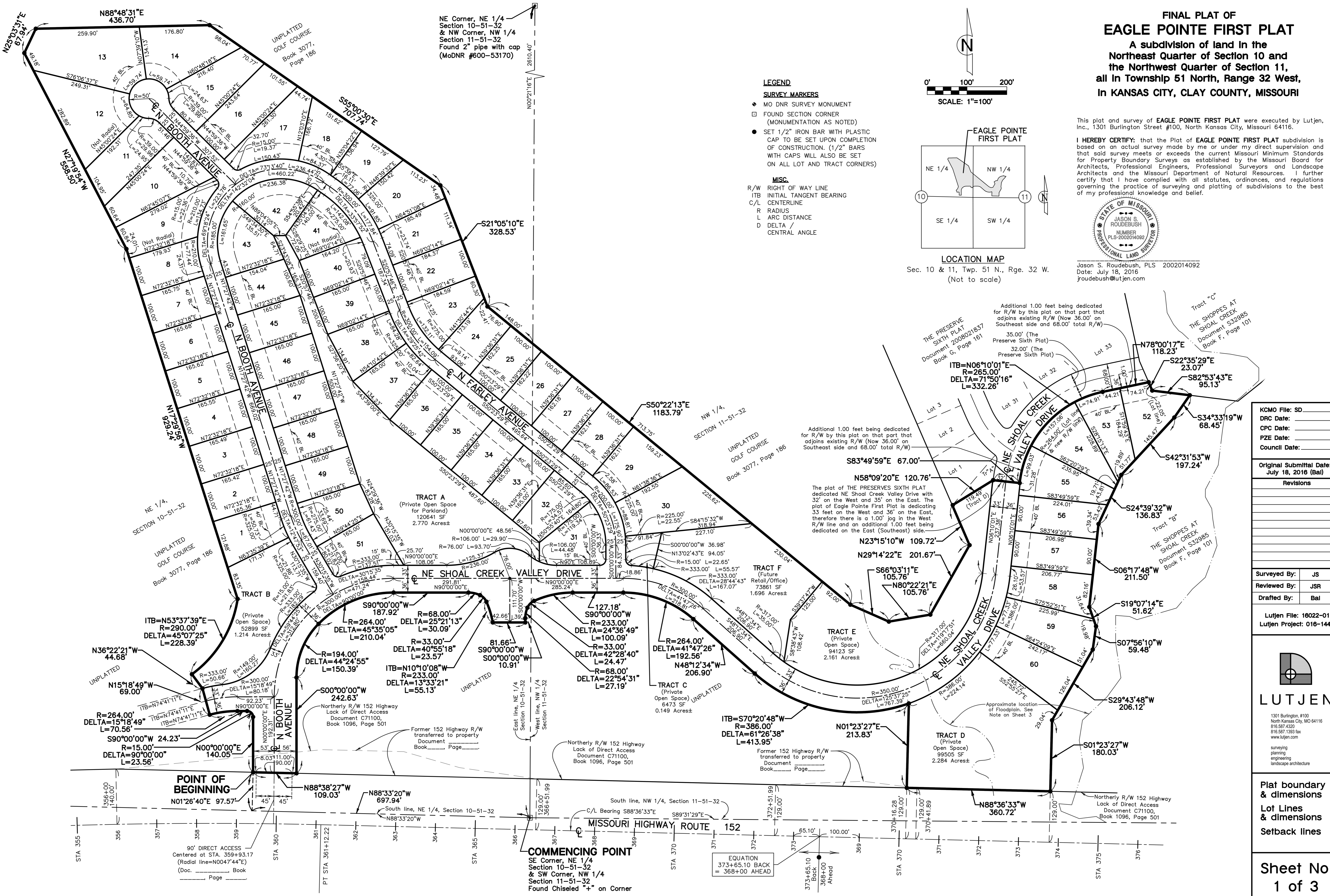


Jason S. Roudebush, PLS 2002014092
Date: July 18, 2016
jrroudebush@lutjen.com



LOCATION MAP
Sec. 10 & 11, Twp. 51 N., Rge. 32 W.
(Not to scale)

- LEGEND**
- SURVEY MARKERS**
- ◆ MO DNR SURVEY MONUMENT
 - FOUND SECTION CORNER (MONUMENTATION AS NOTED)
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- R/W RIGHT OF WAY LINE
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 - Δ DELTA / CENTRAL ANGLE



KCMO File: SD	
DRC Date:	
CPC Date:	
PZE Date:	
Council Date:	

Original Submittal Date:
July 18, 2016 (Bal)

Revisions	

Surveyed By:	JS
Reviewed By:	JSR
Drafted By:	Bal

Lutjen File: 16022-01
Lutjen Project: 016-1440

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Plat boundary & dimensions
Lot Lines & dimensions
Setback lines

NE Corner, NE 1/4
Section 10-51-32
& NW Corner, NW 1/4
Section 11-51-32
Found 2" pipe with cap
(MoDNR #600-53170)

Additional 1.00 feet being dedicated for R/W by this plat on that part that adjoins existing R/W (Now 36.00' on Southeast side and 68.00' total R/W)

Additional 1.00 feet being dedicated for R/W by this plat on that part that adjoins existing R/W (Now 36.00' on Southeast side and 68.00' total R/W)

The plat of THE PRESERVES SIXTH PLAT dedicated NE Shoal Creek Valley Drive with 32' on the West and 35' on the East. The plat of Eagle Pointe First Plat is dedicating 33 feet on the West and 36' on the East, therefore there is a 1.00' jog in the West R/W line and an additional 1.00 feet being dedicated on the East (Southeast) side.

Additional 1.00 feet being dedicated for R/W by this plat on that part that adjoins existing R/W (Now 36.00' on Southeast side and 68.00' total R/W)

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COMMENCING POINT
SE Corner, NE 1/4
Section 10-51-32
& SW Corner, NW 1/4
Section 11-51-32
Found Chiseled "+" on Corner

EQUATION
373+65.10 BACK
= 368+00 AHEAD

POINT OF BEGINNING
N01°26'40"E 97.57'
N88°38'27"W 109.03'
N88°33'20"W 697.94'

Northerly R/W 152 Highway
Lack of Direct Access
Document C71100,
Book 1096, Page 501

Northerly R/W 152 Highway
Lack of Direct Access
Document C71100,
Book 1096, Page 501

Former 152 Highway R/W
transferred to property
Document _____
Page _____

Approximate location of Floodplain. See Note on Sheet 3

Northerly R/W 152 Highway
Lack of Direct Access
Document C71100,
Book 1096, Page 501

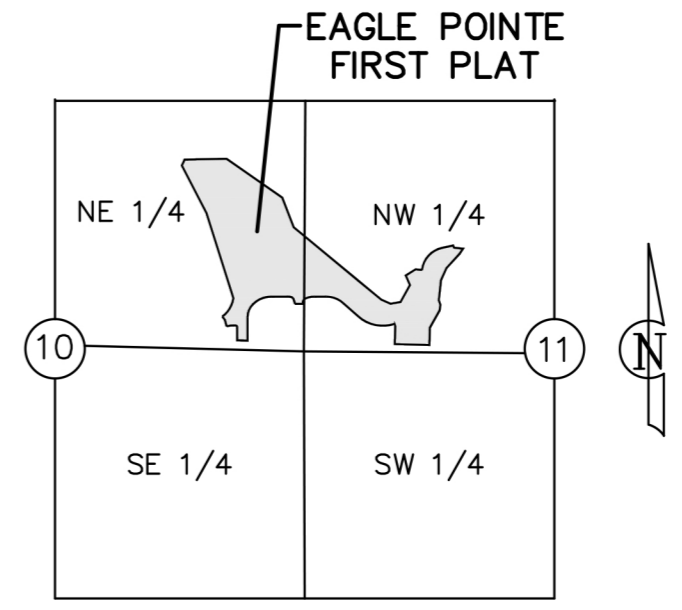
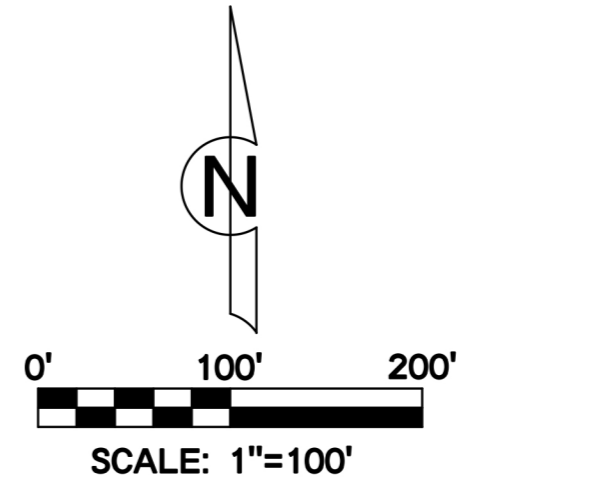
**FINAL PLAT OF
EAGLE POINTE FIRST PLAT**
A subdivision of land in the
Northeast Quarter of Section 10 and
the Northwest Quarter of Section 11,
all in Township 51 North, Range 32 West,
in KANSAS CITY, CLAY COUNTY, MISSOURI

This plat and survey of EAGLE POINTE FIRST PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY: that the Plat of EAGLE POINTE FIRST PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



Jason S. Roubush, PLS 2002014092
Date: July 18, 2016
jroubush@lutjen.com



LOCATION MAP
Sec. 10 & 11, Twp. 51 N., Rge. 32 W.
(Not to scale)

LEGEND

EASEMENTS

- DE STORM DRAINAGE EASEMENT
- SE SANITARY SEWER EASEMENT
- UE UTILITY EASEMENT
- WE WATER EASEMENT
- PC POINT OF CURVATURE OF CURVE
- PT POINT OF TANGENCY OF CURVE
- (10) MISSOURI STATE PLANE COORDINATE (typical)

NOTE: All easements shown hereon without recording information are being dedicated with this plat.

The plat was tied into Missouri Department of Natural Resources, Division of Geology and Land Survey, Land Survey Programs' State Plane Monument Station "CL-05", with a metric coordinate of North-341742.501, East-849608.991 and a Grid Factor of 0.9999023.

1	341688.190	14	342047.650	27	341917.680	40	341820.425
2	341730.874	15	341817.533	28	341879.781	41	341815.196
3	341735.446	16	341804.451	29	341815.710	42	341807.129
4	341735.446	17	341809.841	30	341800.846	43	341803.805
5	341732.589	18	341863.473	31	341782.892	44	341803.805
6	341752.872	19	341894.196	32	341728.341	45	341819.839
7	341763.835	20	341913.615	33	341673.491	46	341824.881
8	341821.930	21	341911.421	34	341676.159	47	341826.877
9	342092.029	22	341981.746	35	341741.310	48	341826.877
10	342243.242	23	341989.235	36	341764.386	49	341802.727
11	342261.999	24	341982.744	37	341806.407	50	341761.348
12	342264.766	25	341979.158	38	341826.877	51	341687.402
13	342141.072	26	341961.977	39	341826.877		
	851998.163		852177.580		852662.835		852213.278
	851998.163		852455.450		852645.436		852208.203
	851993.591		851804.451		852484.908		852206.569
	851993.591		851809.841		852516.687		852206.569
	851986.205		851863.473		852641.017		852206.569
	851959.401		851894.196		852641.017		852206.569
	851951.326		852533.508		852609.864		852176.795
	851951.326		852564.772		852608.532		852171.894
	851986.324		851911.421		852498.629		852163.020
	851986.324		852585.074		852382.247		852163.020
	852092.029		851981.746		852500.211		852105.747
	851901.168		852648.585		852500.211		852105.747
	852243.242		851989.235		851764.386		852048.276
	851823.015		852683.833		852382.247		852048.276
	852261.999		851982.744		851806.407		851761.348
	851831.785		852686.533		852335.233		852031.383
	852264.766		851979.158		851826.877		852031.383
	851964.850		852715.303		852281.614		
	852141.072		851961.977		852242.855		
	852141.072		852703.471		852242.855		

10' UE, Book 6052, Page 1445 (Item 1) (document is 10' UE adjoining original R/W line. This plat dedicates an additional 1.00' of R/W, therefore this easement is 9.00' adjoining new R/W line. All of this recorded UE falls within the 15' UE being dedicated with this plat)

All of the 10' SE (Book 5691, Page 80) and 10' SE (Book 5694, Page 71) are located within the limits of the 15' SE and the 14' SE that is located on Tract E as shown and labeled hereon. The recorded easements are 10 feet wide and the new platted easements are a minimum of 7.50 feet from the center of the sanitary sewer line.

All of the DE recorded in Book 5691 at Page 80 (Item 1), is located within this 6' by 54' DE.

CL-05
Metric North - 341742.501
Metric East - 849608.991
Ground Feet North - 1121200.188
Ground Feet East - 2787425.495
Grid Factor - 0.9999023
NAVD88 Elev=280.3 KCMO Elev=1002.87

POINT OF BEGINNING
N01°26'40"E 97.57'

N88°33'20"W
697.94'

90° DIRECT ACCESS
Centered at STA. 359+93.17
(Radial line=N0047°44"E)
(Doc. _____ Book _____ Page _____)

COMMENCING POINT
SE Corner, NE 1/4
Section 10-51-32
& SW Corner, NW 1/4
Section 11-51-32
Found Chiseled "+" on Corner

MISSOURI HIGHWAY ROUTE 152

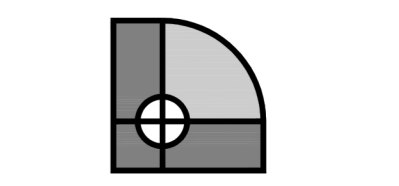
KCMO File: SD _____
DRC Date: _____
CPC Date: _____
PZE Date: _____
Council Date: _____

Original Submittal Date:
July 18, 2016 (Bal)

Revisions

Surveyed By: JS
Reviewed By: JSR
Drafted By: Bal

Lutjen File: 16022-01
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surveying
planning
engineering
landscape architecture

Platted Easements & dimensions
Recorded Easements & dimensions
State Plane Coordinates

PLAT DESCRIPTION:

A tract of land in the Northeast Quarter of Section 10 and the Northwest Quarter of Section 11, all in Township 51 North, Range 32 West of the 5th Principal Meridian, in Kansas City, Clay County, Missouri, being bounded and described as follows: Commencing at the Southeast corner of the Northeast Quarter of said Section 10, said point also being the Southwest corner of the Northwest Quarter of said Section 11; thence North 88°33'20" West, along the South line of the Northeast Quarter of said Section 10, 697.94 feet; thence North 01°26'40" East, 97.57 feet to the Point of Beginning of the tract of land to be herein described; said point also being on the Northerly right of way line of Missouri State Highway No. 152 as now established: thence North 00°00'00" East, 140.05 feet; thence Northwesteally along a curve to the left being tangent to the last described course with a radius of 15.00 feet, a central angle of 90°00'00" and an arc distance of 23.56 feet; thence South 90°00'00" West, 24.23 feet; thence Westerly along a curve to the left being tangent to the last described course with a radius of 264.00 feet, a central angle of 15°18'49" and an arc distance of 70.56 feet; thence North 15°18'49" West, 69.00 feet; thence North 36°22'21" West, 44.68 feet; thence Northeasterly along a curve to the left having an initial tangent bearing of North 53°37'39" East with a radius of 290.00 feet, a central angle of 45°07'25" and an arc distance of 228.39 feet; thence North 17°29'56" West, 929.24 feet; thence North 27°19'54" West, 558.50 feet; thence North 25°03'31" East, 67.94 feet; thence North 88°48'31" East, 436.70 feet; thence South 55°00'30" East, 707.74 feet; thence South 21°05'10" East, 328.53 feet; thence South 50°22'13" East, 1183.79 feet; thence South 66°03'11" East, 105.76 feet; thence North 80°22'21" East, 105.76 feet; thence North 29°14'22" East, 201.67 feet; thence North 23°15'10" West, 109.72 feet to the most Westerly corner of Tract "A", (also being the most Southerly corner of Lot 1), THE PRESERVE SIXTH PLAT, a subdivision of land in said Kansas City as recorded in Document 2008021837, in Book G at Page 161; thence North 58°09'20" East, along the South line of said Tract "A", 120.76 feet to the Southeast corner of said Tract "A" and an angle point on the Southerly line of said plat; thence South 83°49'59" East, along said Southerly plat line 67.00 feet to a point on the Southeasterly right of NE Shoal Creek Valley Drive as established by said plat; thence Northeasterly along said Southeasterly right of way line along a curve to the right having an initial tangent bearing of North 06°10'01" East with a radius of 265.00 feet, a central angle of 71°50'16" and an arc distance of 332.26 feet; thence North 78°00'17" East, along said Southeast right of way line, 118.23 feet to a point on the Westerly line of Tract "C", THE SHOPPES AT SHOAL CREEK, a subdivision of land in said Kansas City as recorded in Document No. S32985, in Book F, at Page 101; thence South 22°35'29" East, along said Westerly tract line, 23.07 feet to the Southwest corner of said Tract "C"; thence South 82°53'43" East, along the Southerly line of said Tract "C", 95.13 feet to the Northwest corner of Tract "B", said THE SHOPPES AT SHOAL CREEK; thence Southerly along said Westerly tract line the following eight (8) courses: thence South 34°33'19" West, 68.45 feet; thence South 42°31'53" West, 197.24 feet; thence South 24°39'32" West, 136.83 feet; thence South 06°17'48" West, 211.50 feet; thence South 19°07'14" East, 51.62 feet; thence South 07°56'10" West, 59.48 feet; thence South 29°43'48" West, 206.12 feet; thence South 01°23'27" West, 180.03 feet to a point on the Northerly right of way line of aforesaid Missouri State Highway No. 152 as now established; thence departing the aforesaid Westerly tract line, North 88°36'33" West, along said Northerly right of way line, 360.72 feet; thence North 01°23'27" East, 213.83 feet; thence Westerly along a curve to the right having an initial tangent bearing of South 70°20'48" West with a radius of 386.00 feet, a central angle of 61°26'38" and an arc distance of 413.95 feet; thence North 48°12'34" West, 206.90 feet; thence Westerly along a curve to the left being tangent to the last described course with a radius of 264.00 feet, a central angle of 41°47'26" and an arc distance of 192.56 feet; thence South 90°00'00" West, 127.18 feet; thence Westerly along a curve to the left being tangent to the last described course with a radius of 233.00 feet, a central angle of 24°36'49" and an arc distance of 100.09 feet; thence Southwesteally along a curve to the left having a common tangent with the last described course with a radius of 33.00 feet, a central angle of 42°28'40" and an arc distance of 24.47 feet; thence Southerly along a curve to the left having a common tangent with the last described course with a radius of 68.00 feet, a central angle of 22°54'31" and an arc distance of 27.19 feet; thence South 00°00'00" West, 10.91 feet; thence South 90°00'00" West, 81.66 feet; thence Northerly along a curve to the left having an initial tangent bearing of North 10°10'08" West with a radius of 233.00 feet, a central angle of 13°33'21" and an arc distance of 55.13 feet; thence Northwesteally along a curve to the left having a common tangent with the last described course with a radius of 33.00 feet, a central angle of 40°55'18" and an arc distance of 23.57 feet; thence Westerly along a curve to the left having a common tangent with the last described course with a radius of 68.00 feet, a central angle of 25°21'13" and an arc distance of 30.09 feet; thence South 90°00'00" West, 187.92 feet; thence Southwesteally along a curve to the left being tangent to the last described course with a radius of 264.00 feet, a central angle of 45°35'05" and an arc distance of 210.04 feet; thence Southerly along a curve to the left having a common tangent with the last described course with a radius of 194.00 feet, a central angle of 44°24'55" and an arc distance of 150.39 feet; thence South 00°00'00" West, 242.63 feet to a point on the aforesaid Northerly right of way line of said Missouri State Highway No. 152 as now established; thence North 88°38'27" West, along said Northerly right of way line, 109.03 feet to the Point of Beginning. Containing 1,980,026 square feet or 45.455 acres, more or less.

PLAT DEDICATION:

The undersigned owners of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

EAGLE POINTE FIRST PLAT

STREET DEDICATION: Streets shown hereon and not heretofore dedicated for public use as street right-of-way are hereby dedicated.

RIGHT OF ENTRANCE: The right of ingress and egress and travel along any street or drive within the boundaries of the property is hereby granted to Kansas City, Missouri for the purpose of fire and police protection, maintenance of water mains, sanitary and storm sewer lines, collection of garbage and refuse and to the United States Postal Services for the delivery of mail; provided, however, such right of ingress and egress does not include any obligation to contribute for any damage to any private street or drive by virtue of the exercise of the rights stated herein and specifically, neither Kansas City, Missouri, nor the United States Postal Service shall incur any liability by virtue of the exercise of such rights.

UNDESIRABLE NOISE LEVELS: The area described herein lies adjacent to Missouri State Highway Route 152, therefore development may be subject to undesirable noise levels due to traffic generation, appropriate measures should be taken through acoustical site planning and/or acoustical construction to reduce the impact of undesirable noise levels.

FLOODPLAIN: This property falls within the limits of "Flood Insurance Rate Map" Community Panel No. 2901730050B, (50 of 145) map revised August 5, 1986, as published by the Federal Emergency Management Agency. This panel is out of date in this area due to the grading changes and roadway improvements along NE Flintock Road and Missouri State Highway Route 152. The information shown hereon in regards to the floodplain has been established from a study by GBA Architects-Engineers and is currently under review and subject to change by the City of Kansas City, Missouri.

ACCESS: The is a lack of direct vehicular access to and from Missouri State Highway Route 152 to and from EAGLE POINT FIRST PLAT, according to the document recorded as Document No. C71100, in Book 1096, at Page 501 and Document No. _____ in Book _____ at Page _____ except for a 90 feet wide strip of land centered at Missouri State Highway Route 152 Station 359+93.17 as established by Document No. _____ in Book _____ at Page _____, as shown and noted hereon.

COVENANTS, CONDITIONS AND RESTRICTIONS: This property is subject to the terms and conditions contained in the document entitled "Declaration of Covenants, Restrictions and Easements - Eagle Pointe First Plat" to be recorded simultaneously with this plat.

PARKLAND DEDICATION: Tract "A", (120641 S.F. or 2.770 Acres±) is hereby dedicated as a Private Open Space Tract for parkland dedication in lieu of required parkland dedication for 60 single-family residential units, pursuant to Section 66-128 of General Ordinances, as amended.

PRIVATE OPEN SPACE: Tract "B" (52,899 S.F. or 1.214 Acres±), Tract "C" (6,473 S.F. or 0.149 Acres±), Tract "D" (99,505 or 2.284 Acres±) and Tract "E" (94,123 S.F. or 2.161 Acres±) are hereby dedicated as Private Open Space Tracts and shall be maintained pursuant to the document entitled "Declaration of Covenants, Restrictions and Easements - Eagle Pointe First Plat" to be recorded simultaneously with this plat.

FUTURE RETAIL / OFFICE: Tract "F" (73,861 S.F. or 1.696 Acres±) is hereby dedicated as future retail / office and shall be maintained pursuant to the document entitled "Declaration of Covenants, Restrictions and Easements - Eagle Pointe First Plat" to be recorded simultaneously with this plat.

SURVEYOR'S NOTES:

- 1. Property information referencing this plat of EAGLE POINT FIRST PLAT has been taken from the commitment for Title Insurance issued by Old Republic National Title Insurance Company File No. SKC0035627, dated June 30, 2016 at 8:00 a.m.
2. All easements from the referenced Title Commitments that cross the property have been shown and labeled herein.
3. Bearings used hereon are based on the Missouri State Plane Coordinate system, NAD 1983, West Zone.

PLAT DEDICATION:

The undersigned owners of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

EAGLE POINTE FIRST PLAT

UTILITY EASEMENT DEDICATION: A utility easement is hereby granted to the City of Kansas City, Missouri, for the purpose of locating, constructing, operating, and maintaining facilities for water, gas, electricity, sewage, telephone, cable tv and surface drainage, and grading, including, but not limited to, underground pipes and conduits, pad mounted transformers, services pedestals, any or all of them upon, over, under and along the strips of land designated utility easements (UE), provided that the easement granted herein is subject to any and all existing easements. Any utilities located within the designated utility easements, by virtue of their existence, do hereby covenant, consent, and agree that they shall be subordinate to said public right of way in the event that additional public right of way is dedicated over the location of the utility easement. Where other easements are designated for a particular purpose, the use thereof shall be limited to that purpose only. All of the above easements shall be kept free from any and all obstructions which would interfere with the construction or reconstruction and proper, safe and continuous maintenance of the aforesaid uses and specifically there shall not be built thereon or thereover any structure (except driveways, paved areas, grass, shrubs and fences) nor shall there be any obstruction to interfere with the agents and employees of the City of Kansas City, Missouri, and its franchised utilities from going upon said easement and as much of the adjoining lands as may be reasonably necessary in exercising the rights granted by the easement. No excavation or fill shall be made or operation of any kind or nature shall be performed which will reduce or increase the earth coverage over the utilities above stated or the appurtenances thereto without a valid permit from the City of Kansas City as to utility easements.

DRAINAGE EASEMENT: A drainage easement (DE) for the purpose of storm water drainage including the right to build, construct, keep, repair and maintain storm water drainage facilities under, in, over, and upon as may be necessary, being and situated in Kansas City, Missouri ("The City") is hereby granted to The City. The City shall have the right at all times to go upon the lands herein described to construct, maintain and repair the said drainage facilities as may be necessary. Nothing shall in any way interfere with the safe and unrestricted use of the land adjacent to and above said drainage facilities, nor attempt to use said property in such manner as would interfere with the proper, safe and continuous maintenance and use of said drainage facilities and specifically shall not build thereon or thereover any structure which may interfere with the maintenance and use thereof.

SANITARY SEWER EASEMENT: A sanitary sewer easement (SE) for the location, construction, reconstruction, maintenance, operation and repair of sewerage improvements and any and all appurtenances incidental thereto in, under, upon, over and through land lying, being and situated in Kansas City, Missouri ("The City") is hereby granted to The City. By the granting of this easement, it shall not be construed to prohibit development of any adjoining property or from the laying out, establishing and constructing pavement, surfacing of roadways, curbing and gutters along, upon, over or across said easement or any portion thereof; provided, however, said easement shall be kept free from additional depth of overburden, buildings, and any other structure or obstruction (except sidewalks, roadways, pavement, grass, shrubs, fences, or curbs), which will interfere with the City in entering upon said adjacent land and easement for the purpose of laying, constructing, reconstructing, operating, repairing and maintaining such sewerage improvements and appurtenances.

WATER MAIN EASEMENT: A water main easement (WE) for the operation and movement of equipment, and the movement of a working force, in connection with the location, construction, reconstruction, maintenance, operation and repair of water mains and any appurtenances thereto over, under and through land lying, being, and situated in Kansas City, Missouri ("The City") is hereby granted to The City. The City, its agents, employees or independent contractors shall have the right to go upon the above described tracts of land, for the purpose of constructing, maintaining, and repairing the water main improvements and appurtenances thereto, and shall upon completion of such construction, maintenance or repair, cause the land to be restored to substantially the same condition that existed prior to the City's entry upon it. The tract of land over which a water main easement is being granted shall be kept free from buildings or any other structures or obstructions (except non-ornamental grass, non-ornamental shrubs, sidewalks, roadways, pavement or curbs) that would interfere with the City in excavating upon said easement for the purposes of laying, constructing, operating, maintaining or repairing water mains and all appurtenances incidental thereto. No change in the earth cover over the water line will be made without the written approval of the Director of Water Services. This easement shall not be construed to prohibit development of any adjoining property or from the laying out, establishing and constructing of pavement, surfacing of roadways, curbing and gutters along, upon, over or across said easement or any portion thereof.

STREET GRADES

NE SHOAL CREEK VALLEY DRIVE

Table with columns: GRADE POINT, ELEV., DESC., V.C. and rows for stationing from Sta. X+00 NE Shoal Creek Valley Drive = C/L to Sta.

N BOOTH AVENUE

Table with columns: GRADE POINT, ELEV., DESC., V.C. and rows for stationing from Sta. X+00 NE Shoal Creek Valley Drive = C/L to Sta.

FINAL PLAT OF EAGLE POINTE FIRST PLAT A subdivision of land in the Northeast Quarter of Section 10 and the Northwest Quarter of Section 11, all in Township 51 North, Range 32 West, in KANSAS CITY, CLAY COUNTY, MISSOURI

This plat and survey of EAGLE POINTE FIRST PLAT were executed by Lutjen, Inc., 1301 Burlington Street #100, North Kansas City, Missouri 64116.

I HEREBY CERTIFY: that the Plat of EAGLE POINTE FIRST PLAT subdivision is based on an actual survey made by me or under my direct supervision and that said survey meets or exceeds the current Missouri Minimum Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, Professional Surveyors and Landscape Architects and the Missouri Department of Natural Resources. I further certify that I have complied with all statutes, ordinances, and regulations governing the practice of surveying and platting of subdivisions to the best of my professional knowledge and belief.



Jason S. Roudebush, PLS 2002014092 Date: July 18, 2016 jroudebush@lutjen.com

IN TESTIMONY WHEREOF:

Tim Harris, President of STAR ACQUISITIONS, INC., a Missouri corporation has caused these presents to be executed this _____ day of _____, 2016.

STAR ACQUISITIONS INC. a Missouri corporation

Tim Harris, President

STATE OF _____ COUNTY OF _____ SS:

Be it remembered that on this _____ day of _____, 2016, before me, the undersigned, a Notary Public in and for the County and State aforesaid, came Tim Harris to me personally known, who being by me duly sworn, did say that he is President of STAR ACQUISITIONS INC., a Missouri corporation and that said instrument was signed in behalf of said corporation and that Tim Harris acknowledged said instrument to be the free act and deed of said corporation.

IN WITNESS WHEREOF:

I have hereunto set my hand and affixed my Notarial Seal in the date herein last above written.

My Commission Expires: _____

Notary Public: _____

CITY PLAN COMMISSION:

Approved: _____

PUBLIC WORKS:

Sherri K. McIntyre, P.E. Director of Public Works

CITY COUNCIL:

This is to Certify that the within Plat was duly submitted to and Approved by the Council of Kansas City, Missouri, by Ordinance No. _____ duly authenticated as passed _____ 2016.

Sylvester "Sly" James, Jr. Mayor

Marilyn Sanders City Clerk

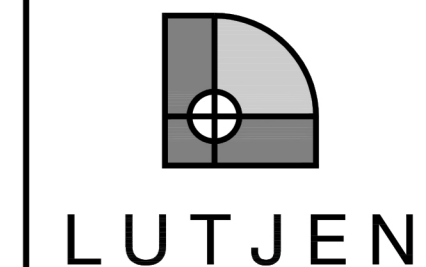
KCMO File: SD _____ DRC Date: _____ CPE Date: _____ PZE Date: _____ Council Date: _____

Original Submittal Date: July 18, 2016 (Bal)

Table with 2 columns: Revisions, and empty rows for recording changes.

Surveyed By: JS Reviewed By: JSR Drafted By: Bal

Lutjen File: 16022-01 Lutjen Project: 016-1440



1301 Burlington, #100 North Kansas City, MO 64116 816.587.4320 816.587.1393 fax www.lutjen.com surveying planning engineering landscape architecture

Street Grades Survey Notes Plat Description Plat Dedication Plat Language Plat Execution

Sheet No. 3 of 3

Location: L:\Projects\16022-01\Plans\Plat\Eagle Pointe First Plat.dwg